

Certificate number: 1786050S


Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 69.5 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Thermal Performance and Materials commitments			
	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓
Construction	Area - m²		Insulation
floor - concrete slab on ground, waffle pod slab.	135.3		none
floor - suspended floor above open subfloor, particle board, frame: light steel frame.	2.4		not specified
floor - above habitable rooms or mezzanine, particle board, frame: light steel frame.	156.8		not specified
floor - suspended floor above garage, particle board, frame: light steel frame.	24.7		not specified
garage floor - concrete slab on ground, waffle pod slab.	36.2		none
external wall: brick veneer, frame: light steel frame.	all external walls		fibre-glass batts or roll / foil/sarking
external garage wall: brick veneer, frame: light steel frame.	21.4		none
external garage wall: cavity brick, frame: no frame.	5.8		none
internal wall: plasterboard, frame: light steel frame.	222		none
ceiling and roof - flat ceiling / pitched roof, framed - concrete tiles, timber - H2 treated softwood.	278		ceiling: fibre-glass batts or roll / foil/sarking.

glazing			
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.			
	✓	✓	✓
Frames	Maximum area - m2		
aluminium	57.1		
timber	0		
uPVC	0		
steel	0		
composite	0		
Glazing	Maximum area - m2		
single	57.1		
double	0		
triple	0		
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 21 to 25 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3 star (average zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 3.5 star (average zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 3.5 star (average zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: please select Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	



AREAS	
SITE:	580.60 m ²
GROUND FLOOR:	152.07 m ²
FIRST FLOOR:	182.47 m ²
GARAGE:	39.93 m ²
PORCH:	11.73 m ²
BALCONY:	N/A m ²
ALFRESCO:	42.37 m ²
	m ²
TOTAL:	428.57 m ²

[illegible]



BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
Stamford 43
Classic
R/H Garage

LUXE

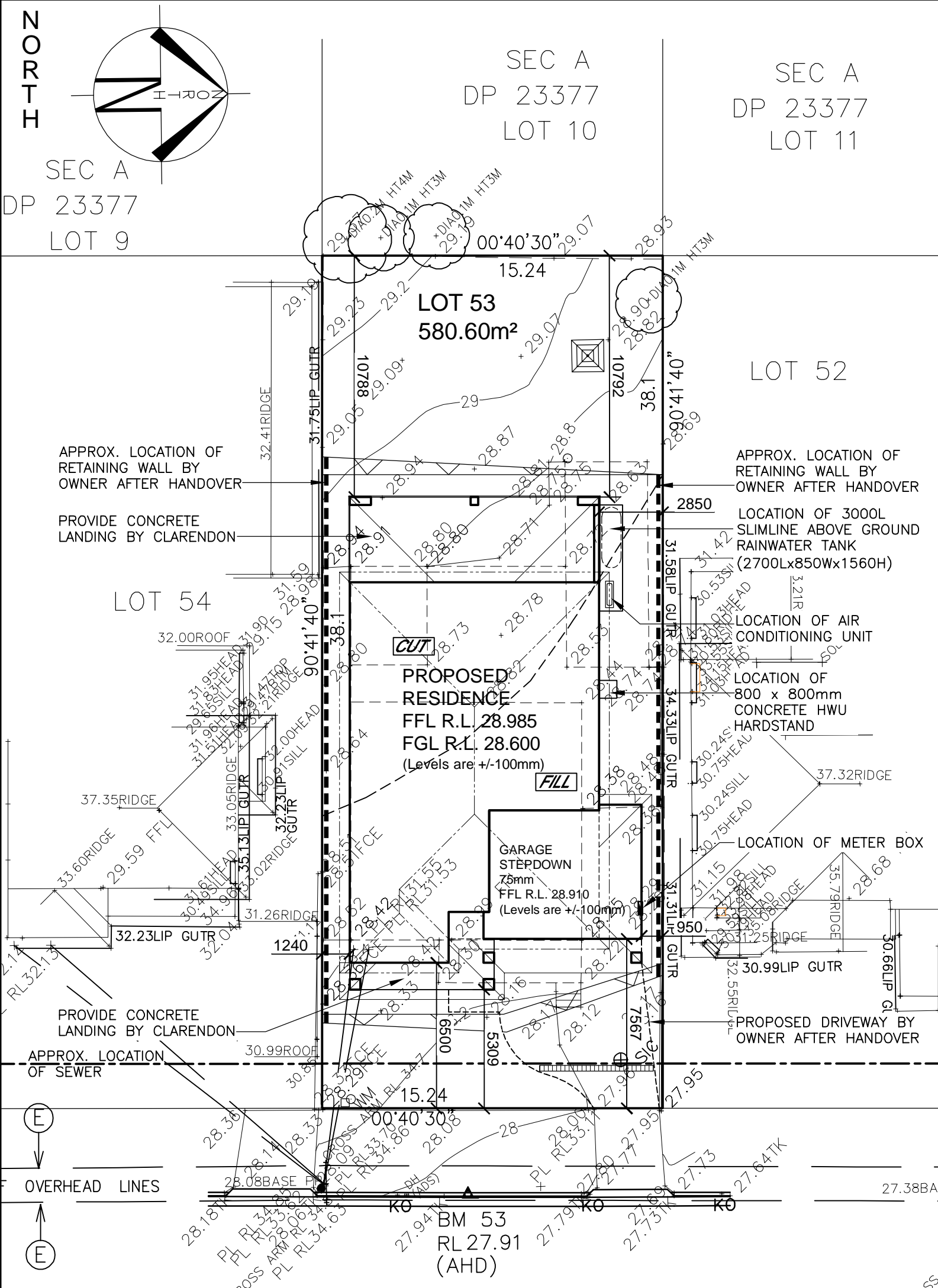
Master Issued: 09.07.2024 Revision: H

CLIENT:
Mr & Ms LY
Mrs DOAN

SITE ADDRESS:
Lot 53 No.44
McCrossin Avenue
BIRRONG, 2143

DA DRAWINGS

DRAWN: MTK	DATE: 24.01.25	Rev: F
RATIO @ A3: NA	CHECKED: AL	
SHEET: 1	JOB No: 29917477	NSW



McCROSSIN AVENUE

OVERHEAD LINES

SITE PLAN

SCALE 1:200

- GENERAL NOTES
- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
 - B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
 - C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
 - D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT:</div> <div>Stamford 43 Classic R/H Garage</div> <div>LUXE</div>	<div>CLIENT:</div> <div>Mr & Ms LY Mrs DOAN</div>	DA DRAWINGS		
			<div>SITE ADDRESS:</div> <div>Lot 53 No.44 McCrossin Avenue BIRRONG, 2143</div>	<div>DRAWN:</div> <div>CH</div>	<div>DATE:</div> <div>24.01.25</div>	Rev: <div>F</div>
				<div>RATIO @ A3:</div> <div>1:200</div>	<div>CHECKED:</div> <div>AL</div>	
				<div>SHEET:</div> <div>2</div>	<div>JOB No:</div> <div>29917477</div>	NSW

LOT 53

D.P: 26182

L.G.A: CANTERBURY / BANKSTOWN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
BANKSTOWN DCP 2015

SITE AREA	580.60 m ²
ROOF AREA	278 m ²

FLOOR SPACE RATIO	
GROUND FLOOR:	135.4 m ²
FIRST FLOOR:	154.6 m ²
TOTAL LIVING AREA:	290 m ²
(EXCL. EXTERNAL WALLS/GARAGE/PORCH/STAIR VOID)	
FLOOR SPACE RATIO:	49.9 %
MAX. ALLOWABLE BY COUNCIL:	50 %

PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	210.4 m ²
(MIN. DIMENSION OF 5.0m)	
MIN. REQUIRED BY COUNCIL:	80 m ²

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	9.0 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

SITE COVERAGE STORMWATER CALCULATION	
ROOF FOOTPRINT:	278m ²
DRIVEWAY/ PAVED AREAS:	46.7m ²
TOTAL:	324.7m ²
	55.9 %
MAX SITE COVERAGE FOR OSD:	75%

BASIX LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	282.2 m ²
(EXCLUDES HARD SURFACES)	
	48.6 %

CLASSIFICATION		
WIND	SLAB	CLIMATE
N2	H1	5

NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

RETAINING WALLS TO BE CONSTRUCTED
WHOLLY WITHIN PROPERTY BOUNDARY
INCLUDING DRAINAGE AND FOOTINGS

NOTE:

OWNER TO DEMOLISH & REMOVE FROM
SITE EXISTING HOUSE, INCLUDING
FOOTINGS & SERVICES ABOVE & BELOW
GROUND, PATHS, DRIVE, TREES &
FENCES ETC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION.

STORMWATER TO
STREET VIA
RAINWATER TANK

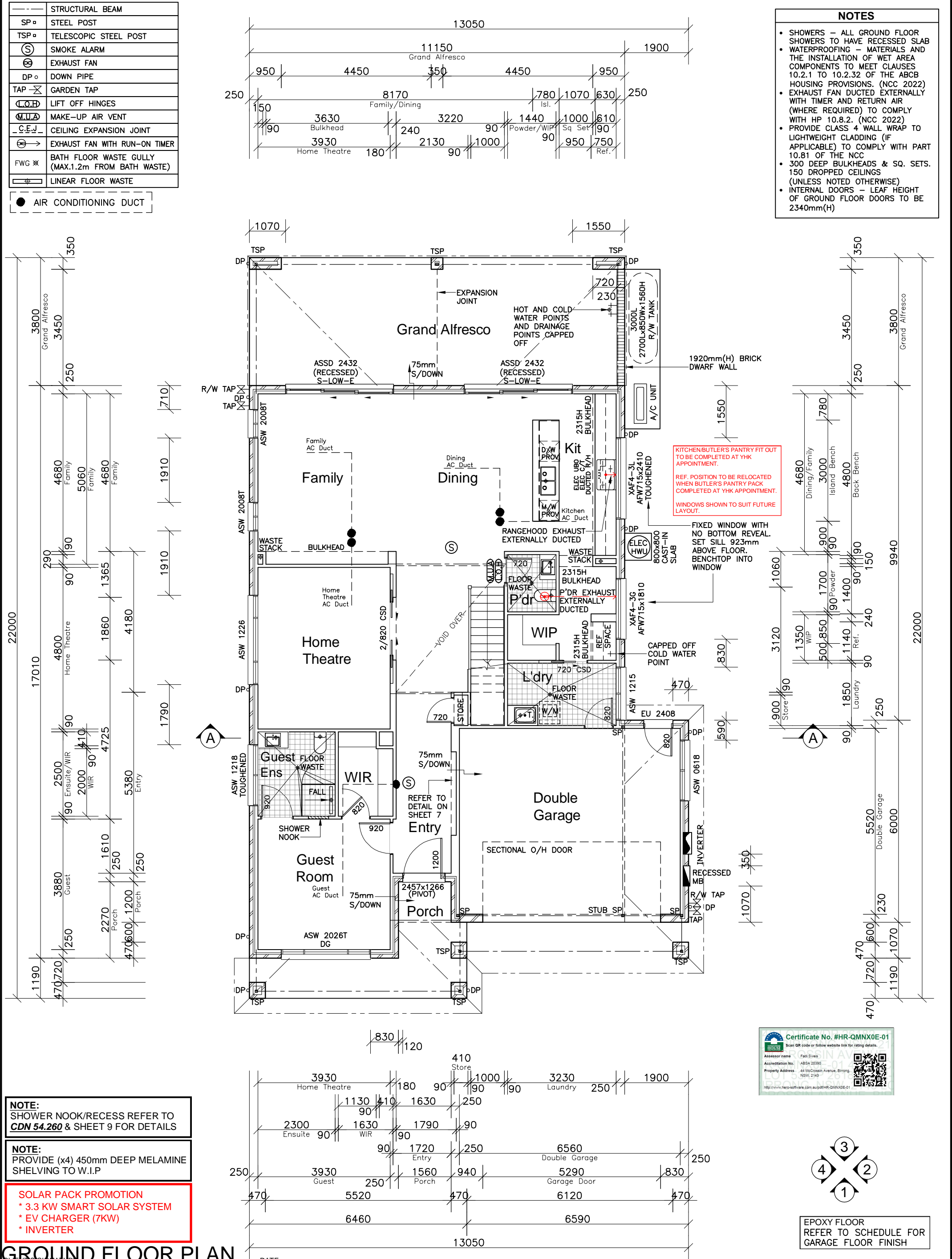
REFER TO HYDRAULIC DETAILS

REFER TO PAGE 7 FOR
DRIVEWAY PROFILE



---	STRUCTURAL BEAM
SP	STEEL POST
TSP	TELESCOPIC STEEL POST
⊙	SMOKE ALARM
⊗	EXHAUST FAN
DP	DOWN PIPE
TAP	GARDEN TAP
⊕	LIFT OFF HINGES
⊕	MAKE-UP AIR VENT
⊕	CEILING EXPANSION JOINT
⊕	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
---	LINEAR FLOOR WASTE

● AIR CONDITIONING DUCT



ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
Stamford 43
Classic
R/H Garage

LUXE

CLIENT:
Mr & Ms LY
Mrs DOAN

SITE ADDRESS:
Lot 53 No.44
McCrossin Avenue
BIRRONG, 2143

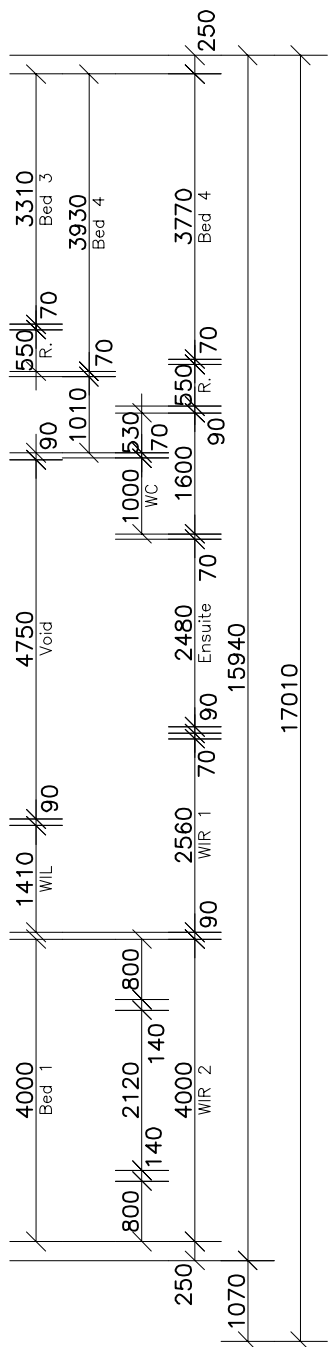
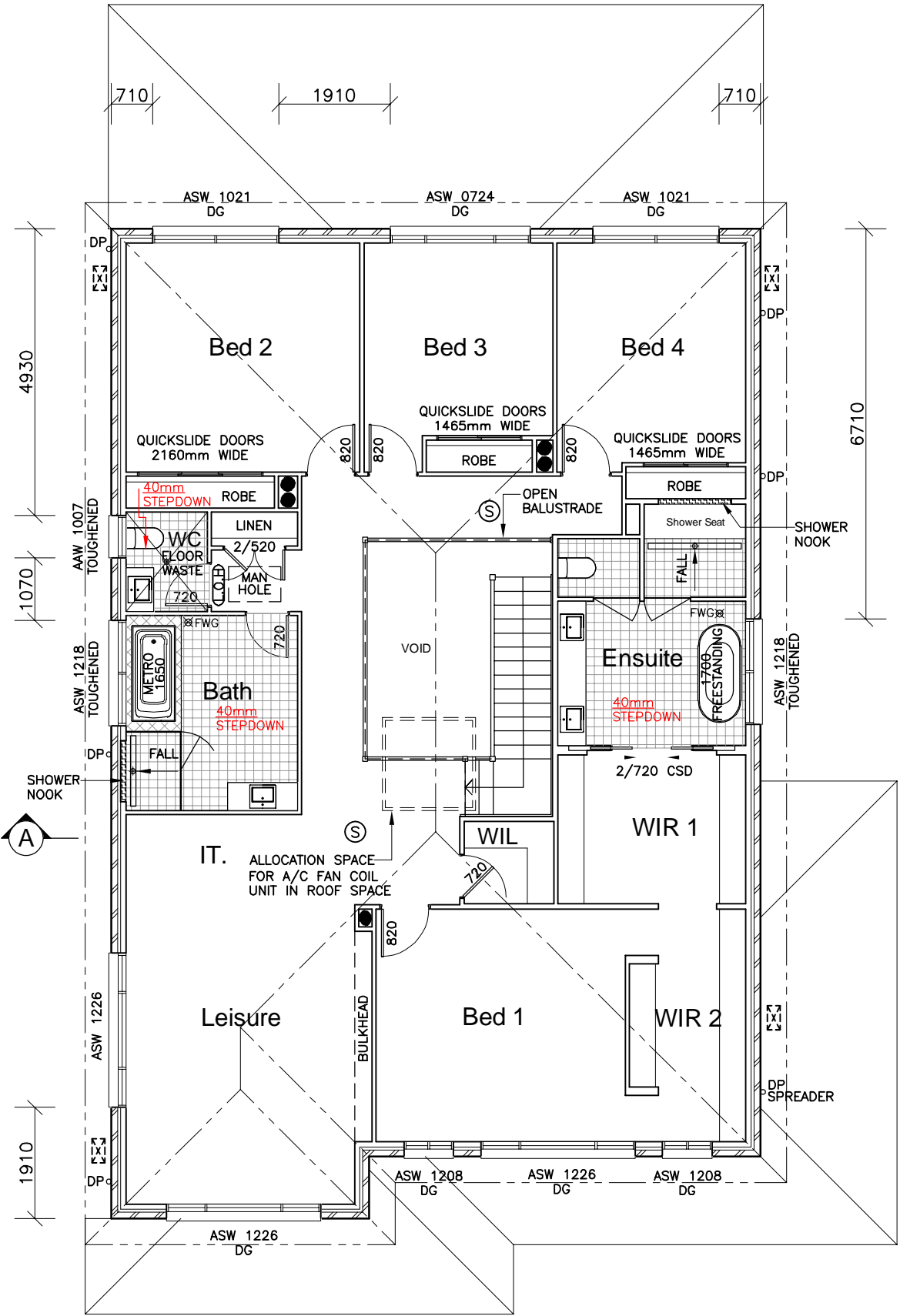
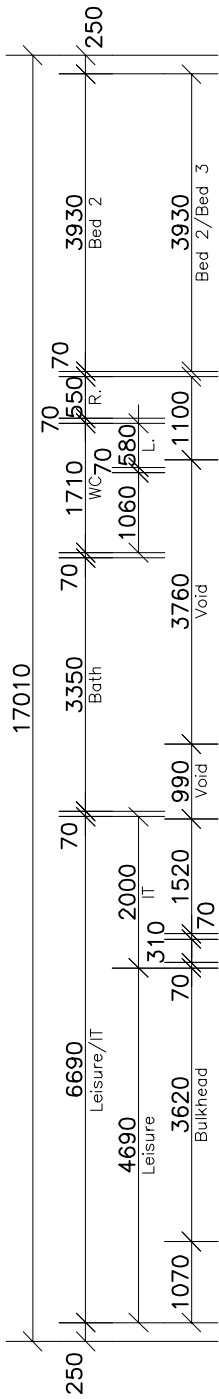
DA DRAWINGS

DRAWN: MTK	DATE: 24.01.25	Rev: F
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 3	JOB No: 29917477	NSW

---	STRUCTURAL BEAM
SP	STEEL POST
TSP	TELESCOPIC STEEL POST
⊙	SMOKE ALARM
⊗	EXHAUST FAN
DP	DOWN PIPE
TAP	GARDEN TAP
L.O.H	LIFT OFF HINGES
M.U.A	MAKE-UP AIR VENT
C.E.J	CEILING EXPANSION JOINT
⊗→	EXHAUST FAN WITH RUN-ON TIMER
FWG	BATH FLOOR WASTE GULLY (MAX.1.2m FROM BATH WASTE)
—#—	LINEAR FLOOR WASTE

● AIR CONDITIONING DUCT

- NOTES
- HEBEL FLOORING – ALL WET AREAS TO FIRST FLOOR – RECESS CREATED USING MARINE PLY
 - WATERPROOFING – MATERIALS AND THE INSTALLATION OF WET AREA COMPONENTS TO MEET CLAUSES 10.2.1 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS. (NCC 2022)
 - BALCONIES – FINISHES SURFACE TO ALL BALCONIES ARE TO HAVE A MIN. FALL OF 1 IN 100 TO THE BALCONY OUTLET.
 - WINDOWS – ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.7 OF THE NCC
 - WINDOWS – ALL OTHER FIRST FLOOR WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 11.3.8 OF THE NCC
 - EXHAUST FAN DUCTED EXTERNALLY WITH TIMER AND RETURN AIR (WHERE REQUIRED) TO COMPLY WITH HP 10.8.2. (NCC 2022)
 - PROVIDE CLASS 4 WALL WRAP TO LIGHTWEIGHT CLADDING (IF APPLICABLE) TO COMPLY WITH PART 10.81 OF THE NCC
 - 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS (UNLESS NOTED OTHERWISE)



NOTE:
INTERNAL DOOR LEAF HEIGHTS TO FIRST FLOOR TO BE 2340mm(H)

NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 10 FOR DETAILS

SOLAR PACK PROMOTION
* 3.3 KW SMART SOLAR SYSTEM
* EV CHARGER (7KW)
* INVERTER

FIRST FLOOR PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of CLARENDON HOMES (NSW) P/L
Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
Stamford 43
Classic
R/H Garage

LUXE

CLIENT:
Mr & Ms LY
Mrs DOAN

SITE ADDRESS:
Lot 53 No.44
McCrossin Avenue
BIRRONG, 2143

DA DRAWINGS

DRAWN: MTK	DATE: 24.01.25	Rev: F
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 4	JOB No: 29917477	NSW

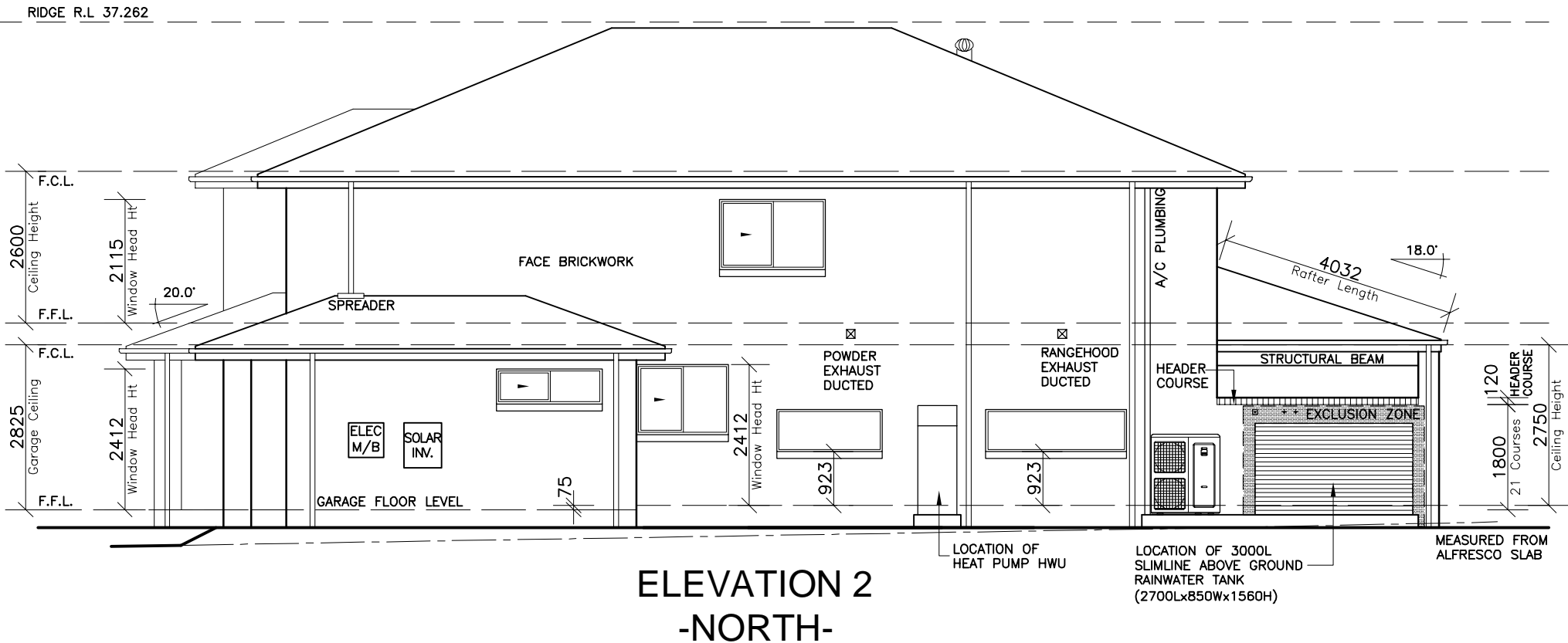
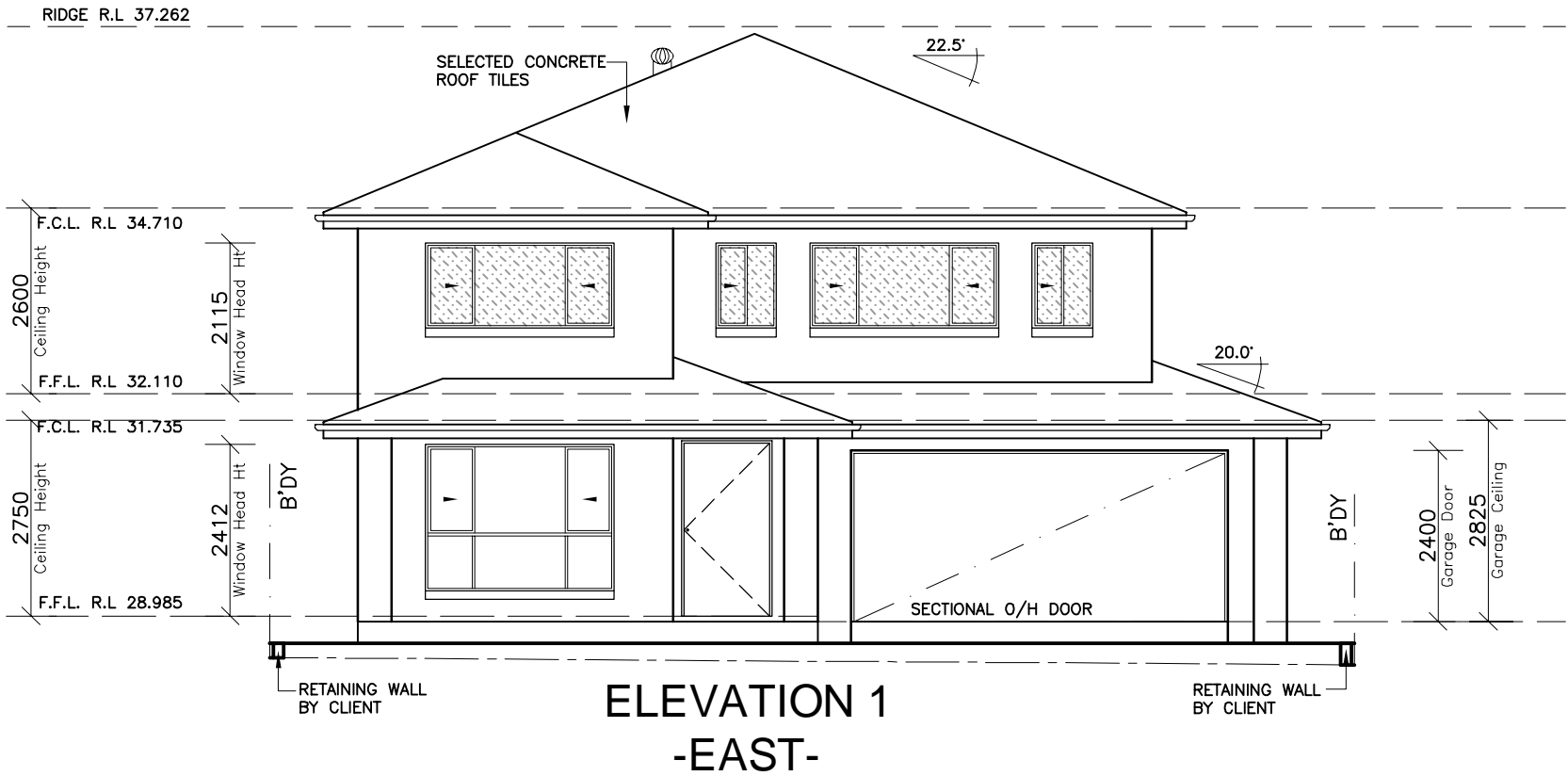
NOTE:
FOR ROOF PITCHES 20° OR LOWER -
ROOF TILE SELECTION WILL BE
IMPACTED.

SOLAR PACK PROMOTION
* 3.3 KW SMART SOLAR SYSTEM
* EV CHARGER (7KW)
* INVERTER

**HEBEL FLOORING
CONSTRUCTION**
(EXCLUDES WET AREAS)

DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
GLAZING

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
**Stamford 43
Classic
R/H Garage**

LUXE

CLIENT:
**Mr & Ms LY
Mrs DOAN**

SITE ADDRESS:
**Lot 53 No.44
McCrossin Avenue
BIRRONG, 2143**


DA DRAWINGS

DRAWN: MTK	DATE: 24.01.25	Rev: F
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 5	JOB No: 29917477	NSW


NOTE:
FOR ROOF PITCHES 20° OR LOWER -
ROOF TILE SELECTION WILL BE
IMPACTED.

SOLAR PACK PROMOTION
* 3.3 KW SMART SOLAR SYSTEM
* EV CHARGER (7KW)
* INVERTER

**HEBEL FLOORING
CONSTRUCTION**
(EXCLUDES WET AREAS)

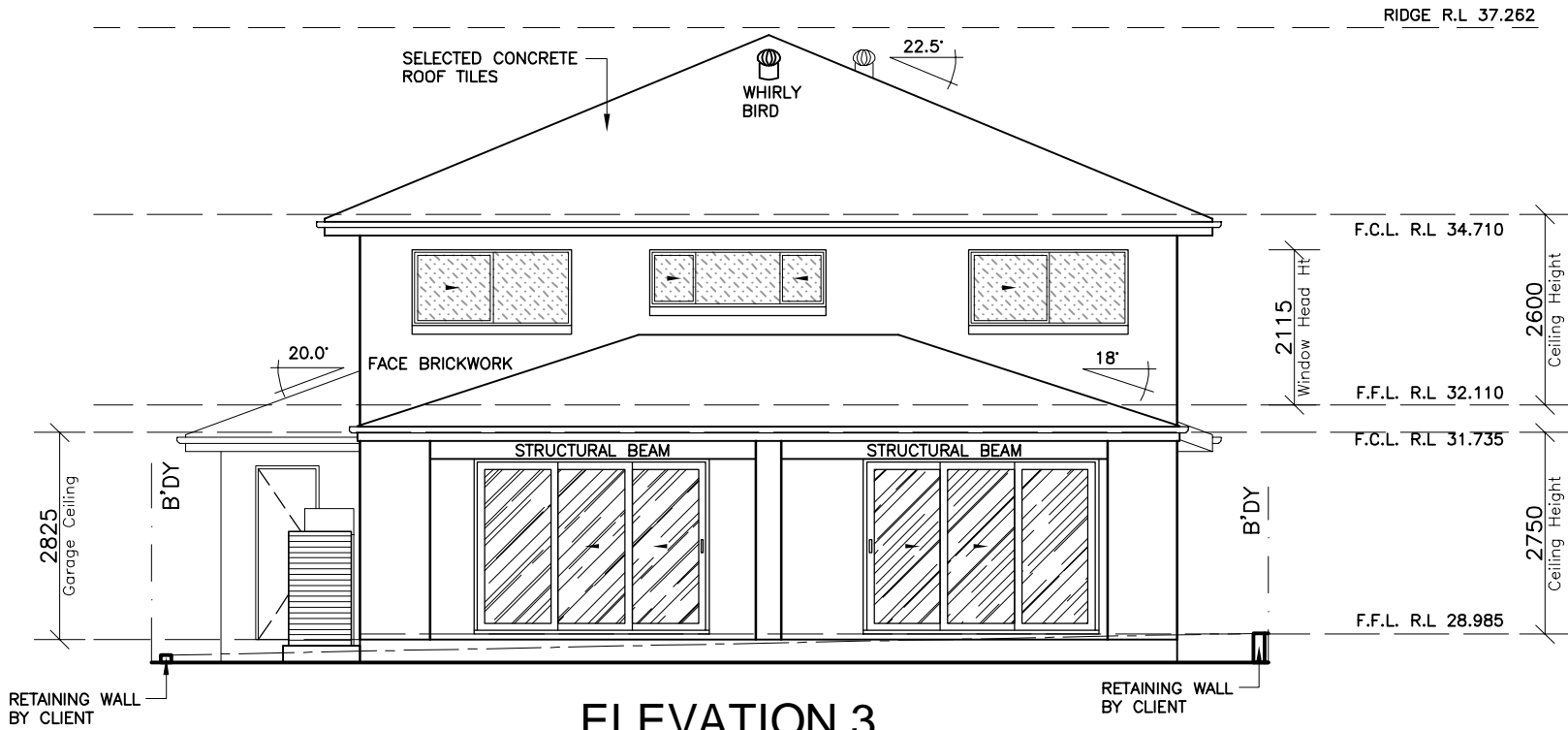


DENOTES WINDOWS AND
DOORS WITH DOUBLE
GLAZED ARGON FILLED
GLAZING

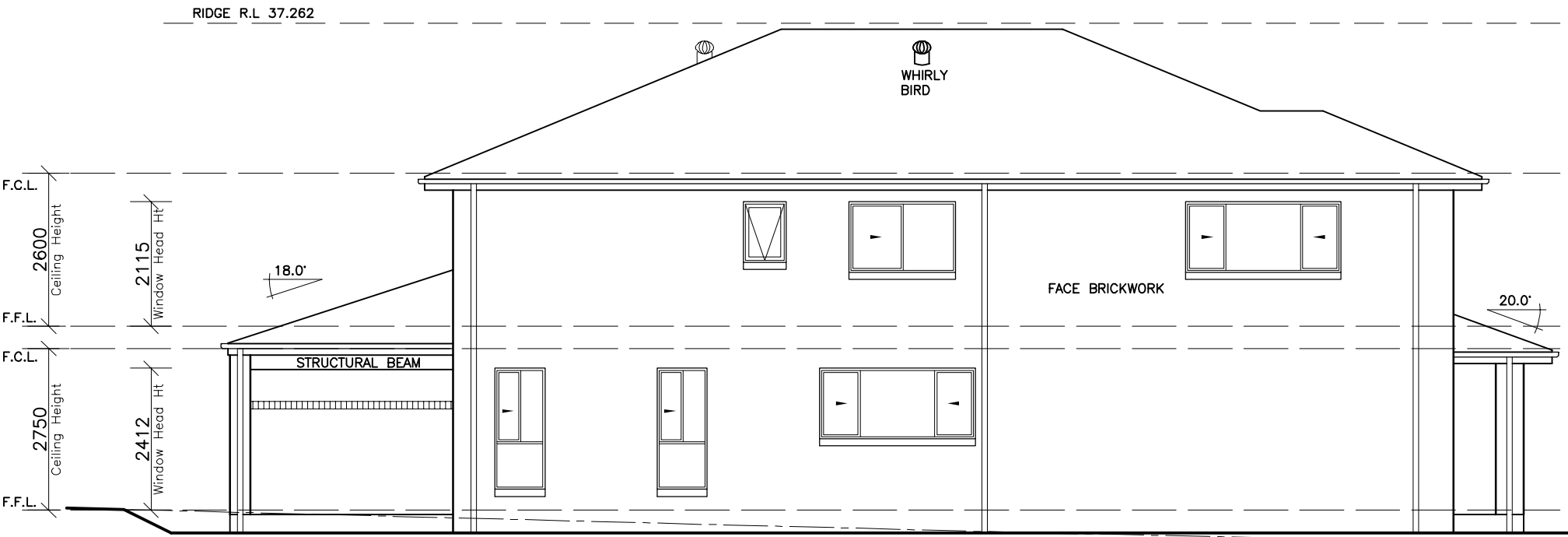


DENOTES WINDOWS WITH
SINGLE GLAZED LOW-E
GLAZING

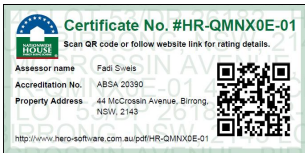
NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080



ELEVATION 3
-WEST-



ELEVATION 4
-SOUTH-



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
Stamford 43
Classic
R/H Garage

LUXE

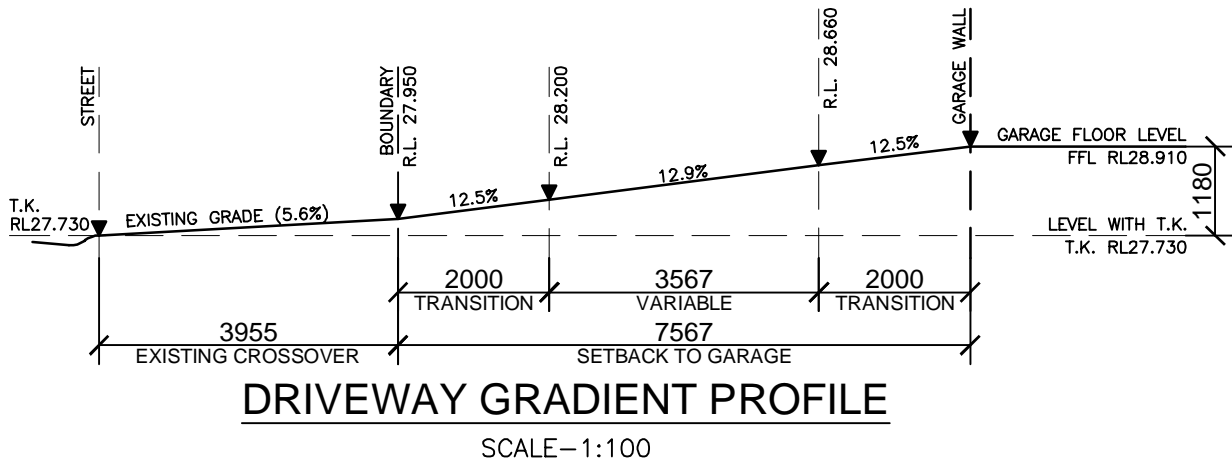
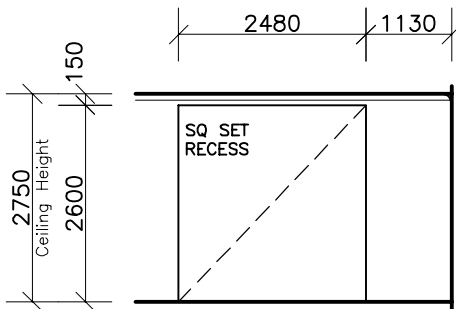
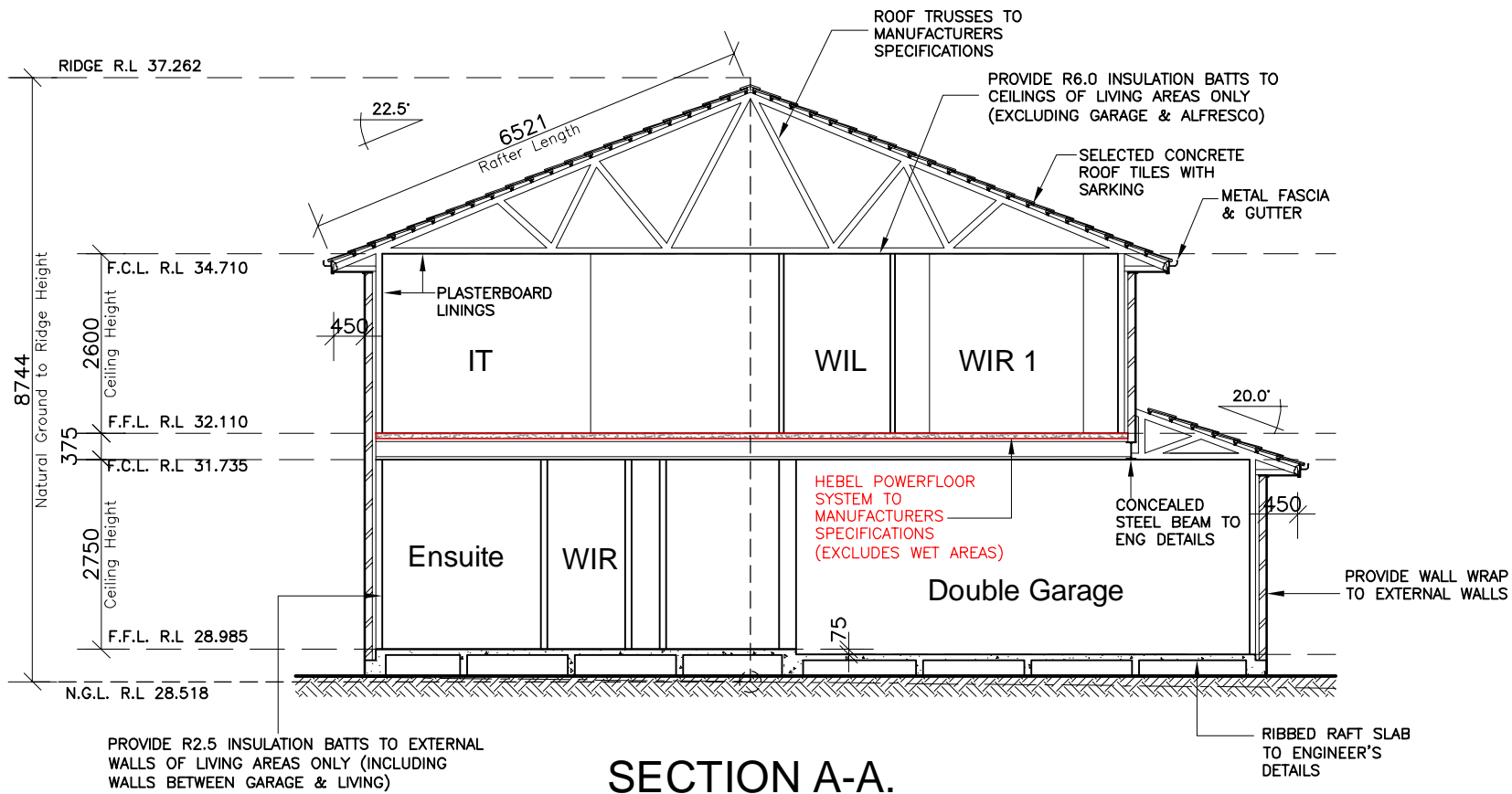
CLIENT:
Mr & Ms LY
Mrs DOAN

SITE ADDRESS:
Lot 53 No.44
McCrossin Avenue
BIRRONG, 2143

DA DRAWINGS			
DRAWN: MTK	DATE: 24.01.25	Rev: F	
RATIO @ A3: 1:100	CHECKED: AL		
SHEET: 6	JOB No: 29917477	NSW	

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND & FIRST FLOOR TO BE
2340mm(H)

HEBEL FLOORING
CONSTRUCTION
(EXCLUDES WET AREAS)



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
Stamford 43
Classic
R/H Garage

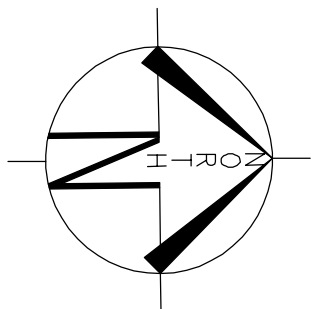
LUXE

CLIENT:
Mr & Ms LY
Mrs DOAN
SITE ADDRESS:
Lot 53 No.44
McCrossin Avenue
BIRRONG, 2143

DA DRAWINGS

DRAWN: MTK	DATE: 24.01.25	Rev: F
RATIO @ A3: 1:100	CHECKED: AL	
SHEET: 7	JOB No: 29917477	NSW

NORTH



SEC A
DP 23377
LOT 9

SEC A
DP 23377
LOT 10

SEC A
DP 23377
LOT 11

LOT 53
D.P: 26182
L.G.A: CANTERBURY / BANKSTOWN

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
BANKSTOWN DCP 2015**

LOT 53
580.60m²

LOT 52

LOT 54

CUT

**PROPOSED
RESIDENCE**
FFL R.L. 28.985
FGL R.L. 28.600
(Levels are +/-100mm)

FILL

**GARAGE
STEPDOWN**
75mm
FFL R.L. 28.910
(Levels are +/-100mm)

SEDIMENT FENCE AROUND
WASTE MATERIALS

PORTABLE TOILET

APPROXIMATE LOCATION
OF SEDIMENT FENCE

ZONE OF OVERHEAD LINES

APPROXIMATE LOCATION
OF SEDIMENT FENCE

ALL WEATHER
ACCESS POSITION

McCROSSIN AVENUE

BM 53
RL 27.91
(AHD)

NOTE:
TEMPORARY SECURITY FENCING TO
THE PERIMETER OF THE BOUNDARY
WHERE REQUIRED TO PREVENT
PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE
CUSTOMISED TO SITE CONDITIONS

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

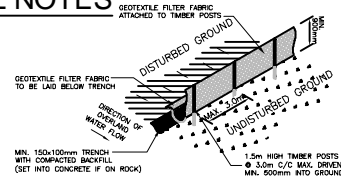
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT) BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
Stamford 43
Classic
R/H Garage

LUXE

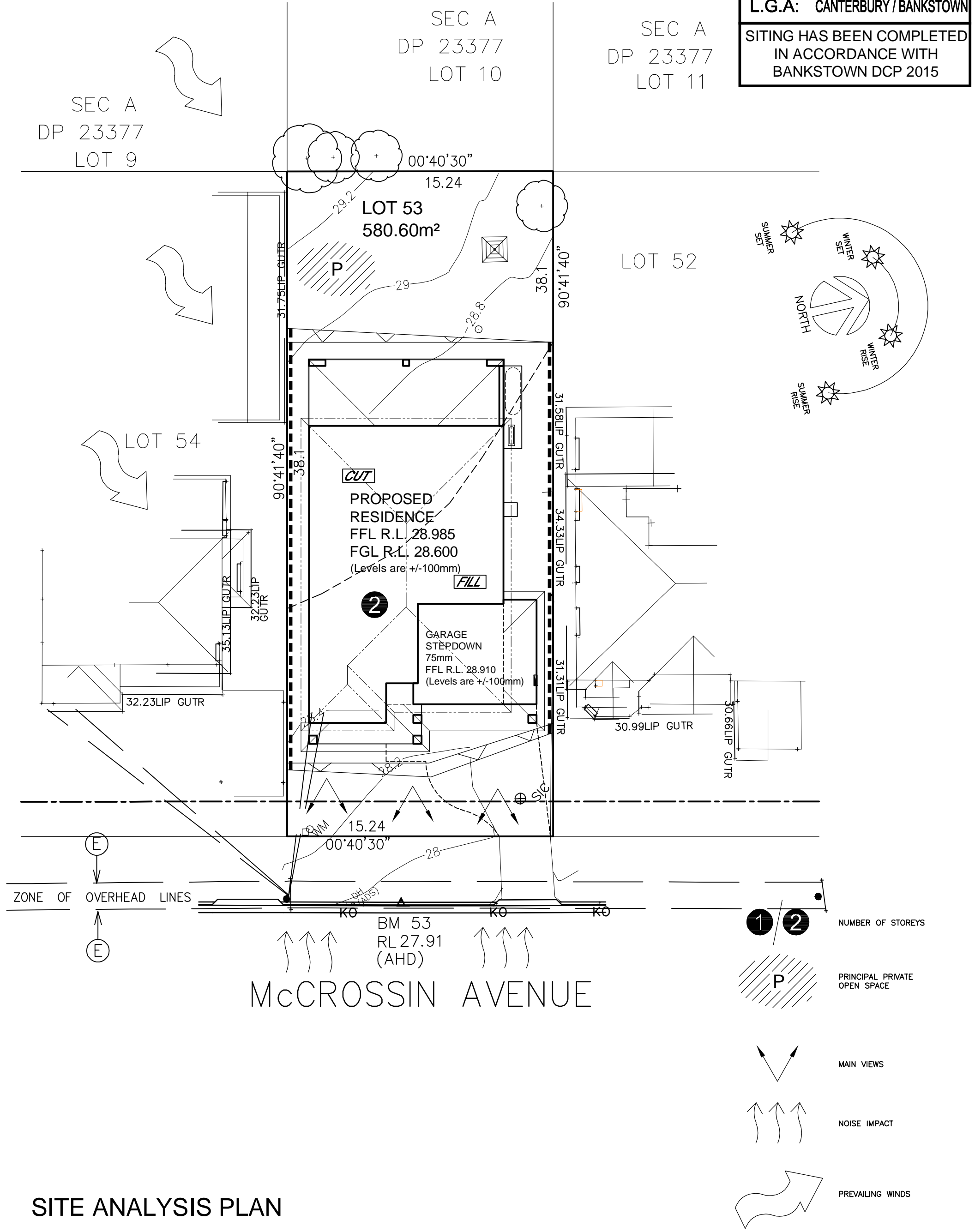
CLIENT:
Mr & Ms LY
Mrs DOAN

SITE ADDRESS:
Lot 53 No.44
McCROSSIN AVENUE
BIRRONG, 2143

DA DRAWINGS

DRAWN: MTK	DATE: 24.01.25	Rev: F
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.1	JOB No: 29917477	NSW

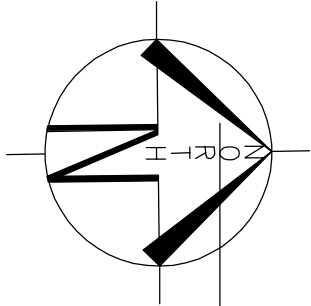
LOT 53
D.P: 26182
L.G.A: CANTERBURY / BANKSTOWN
SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
BANKSTOWN DCP 2015



SITE ANALYSIS PLAN

CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: Stamford 43 Classic R/H Garage LUXE		CLIENT: Mr & Ms LY Mrs DOAN SITE ADDRESS: Lot 53 No.44 McCrossin Avenue BIRRONG, 2143		DA DRAWINGS		
ClarendonHomes <small>BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</small>		<small>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</small>				DRAWN: MTK	DATE: 24.01.25	Rev: F
						RATIO @ A3: 1:200	CHECKED: AL	
						SHEET: 2.2	JOB No: 29917477	NSW

NORTH



SEC A
DP 23377
LOT 10

SE
DP 2
LC

LOT 53
D.P: 26182
L.G.A: CANTERBURY / BANKSTOWN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
BANKSTOWN DCP 2015

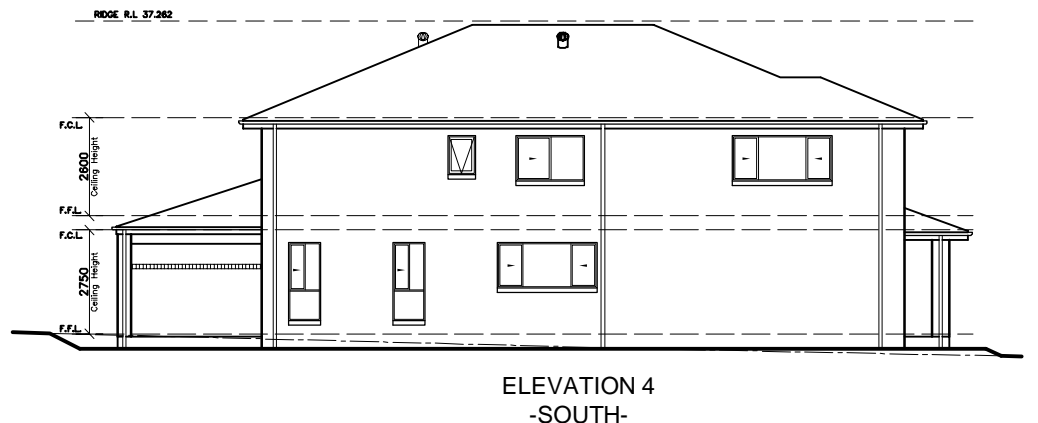
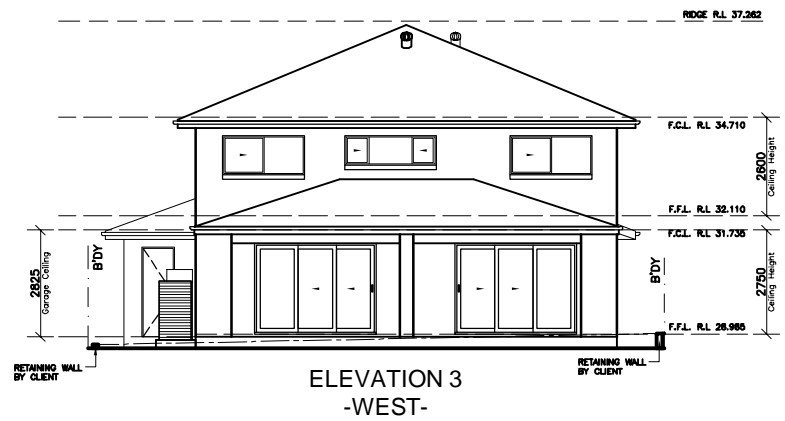
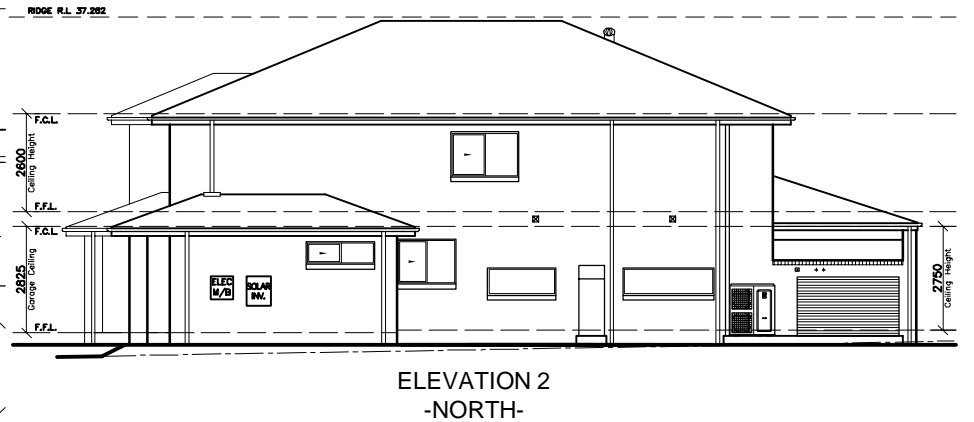
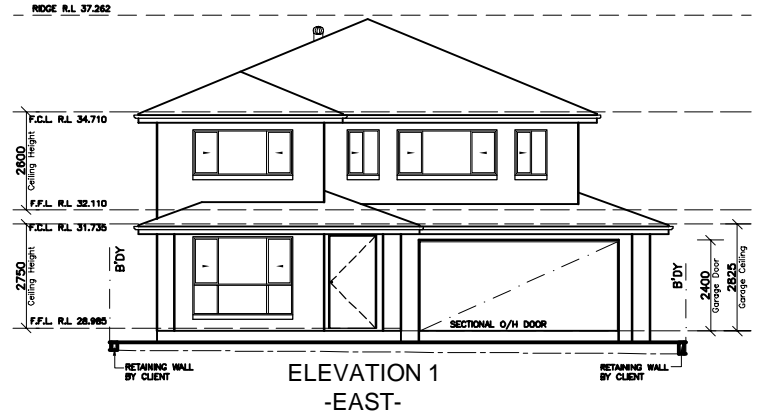
LOT 53
580.60m²

PROPOSED
RESIDENCE
FFL R.L. 28.985
FGL R.L. 28.600
(Levels are +/-100mm)

GARAGE
STEPDOWN
75mm
FFL R.L. 28.910
(Levels are +/-100mm)

McCROSSIN AVENUE

NEIGHBOUR NOTIFICATION PLAN



CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

© ALL RIGHTS RESERVED
This plan is the property of
CLARENDON HOMES (NSW) P/L
Any copying or altering
of the drawing shall not be
undertaken without written
permission from
CLARENDON HOMES (NSW) P/L
ALL DIMENSIONS TO STRUCTURAL
ELEMENTS. DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING.

PRODUCT:
Stamford 43
Classic
R/H Garage

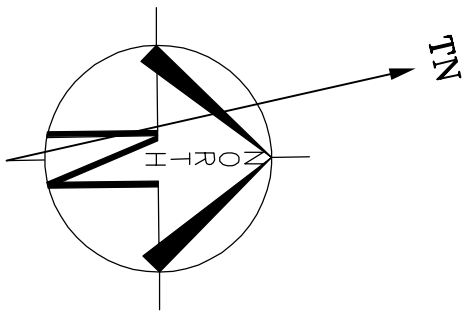
LUXE

CLIENT:
Mr & Ms LY
Mrs DOAN
SITE ADDRESS:
Lot 53 No.44
McCROSSIN AVENUE
BIRROING, 2143

DA DRAWINGS

DRAWN: MTK	DATE: 24.01.25	Rev: F
RATIO @ A3: 1:200	CHECKED: AL	
SHEET: 2.3	JOB No: 29917477	NSW

NORTH



LOT 53
D.P: 26182
L.G.A: CANTERBURY / BANKSTOWN

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
BANKSTOWN DCP 2015

SEC A
DP 23377
LOT 9

SEC A
DP 23377
LOT 10

SEC A
DP 23377
LOT 11

LOT 52

Shadow outline for JUN21-8.00am

Shadow outline for JUN21-9.00am

Shadow outline for JUN21-10.00am

Shadow outline for JUN21-11.00am

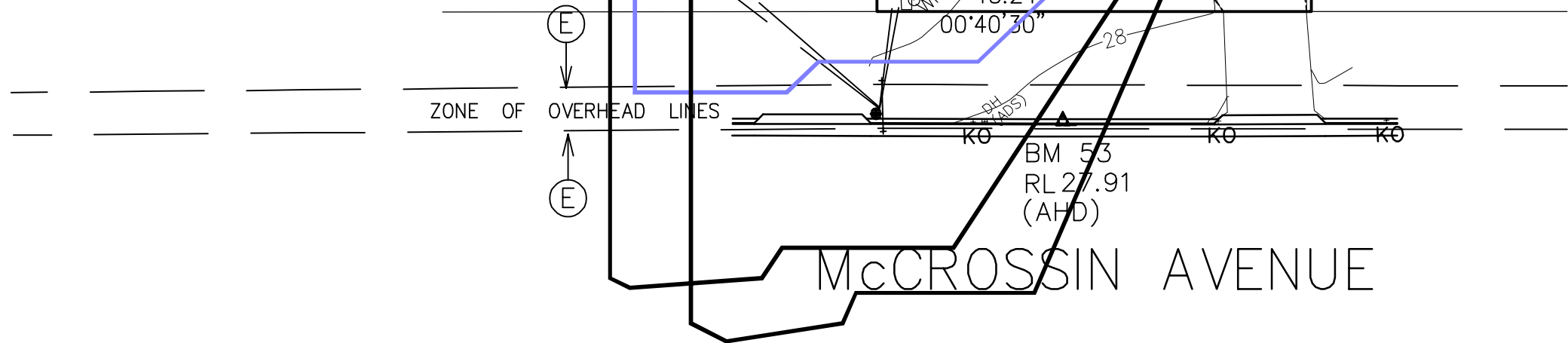
Shadow outline for JUN21-12.00pm

Shadow outline for JUN21-1.00pm

Shadow outline for JUN21-2.00pm

Shadow outline for JUN21-3.00pm

Shadow outline for JUN21-4.00pm



SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____ DATE: _____

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT:</div> <div>Stamford 43 Classic R/H Garage</div> <div>LUXE</div>	<div>CLIENT:</div> <div>Mr & Ms LY Mrs DOAN</div>	DA DRAWINGS		
			<div>SITE ADDRESS:</div> <div>Lot 53 No.44 McCrossin Avenue BIRRONG, 2143</div>	<div>DRAWN:</div> <div>MTK</div>	<div>DATE:</div> <div>24.01.25</div>	<div>Rev:</div> <div>F</div>
				<div>RATIO @ A3:</div> <div>1:200</div>	<div>CHECKED:</div> <div>AL</div>	
				<div>SHEET:</div> <div>2.4</div>	<div>JOB No:</div> <div>29917477</div>	<div>NSW</div>